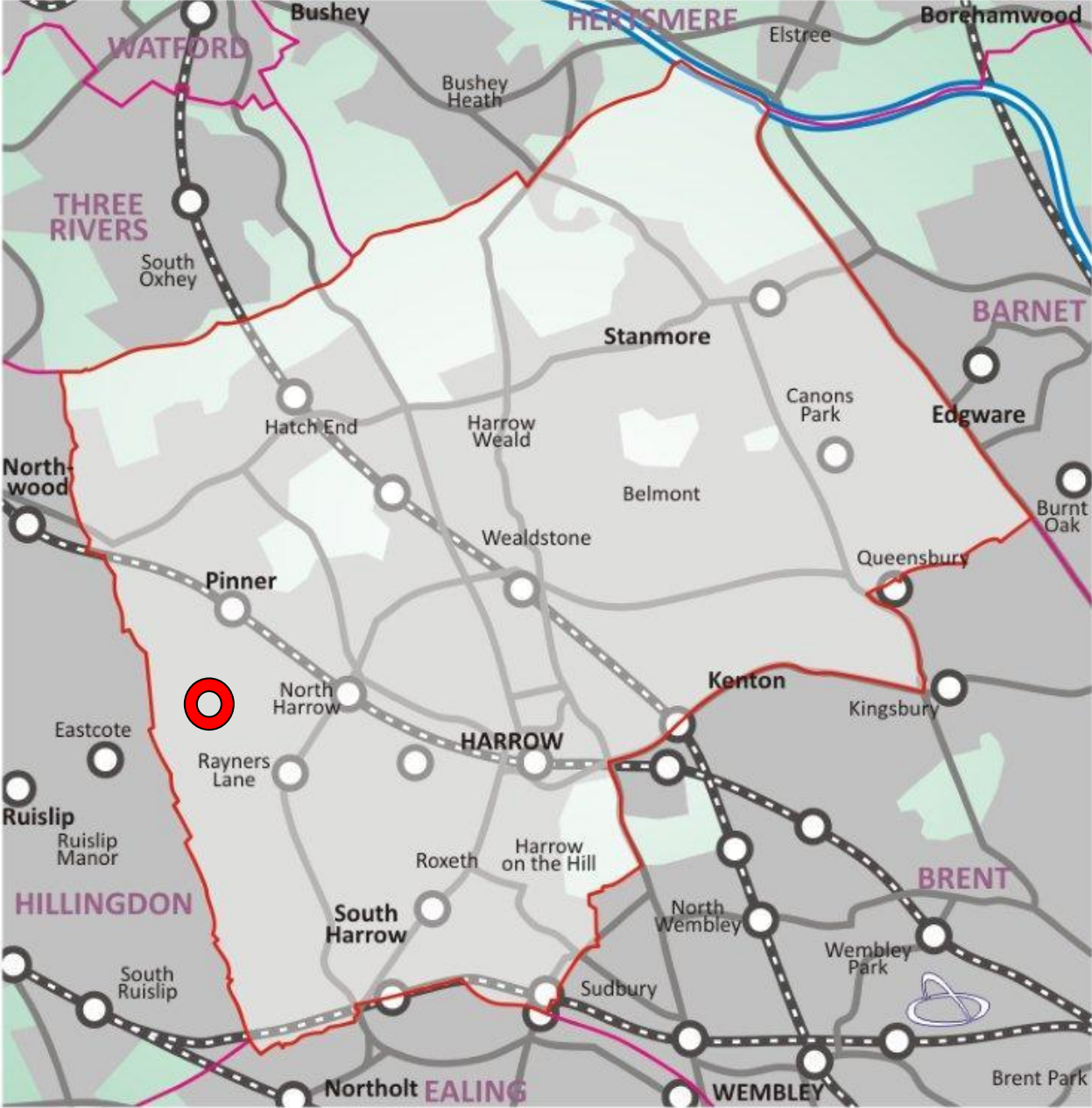
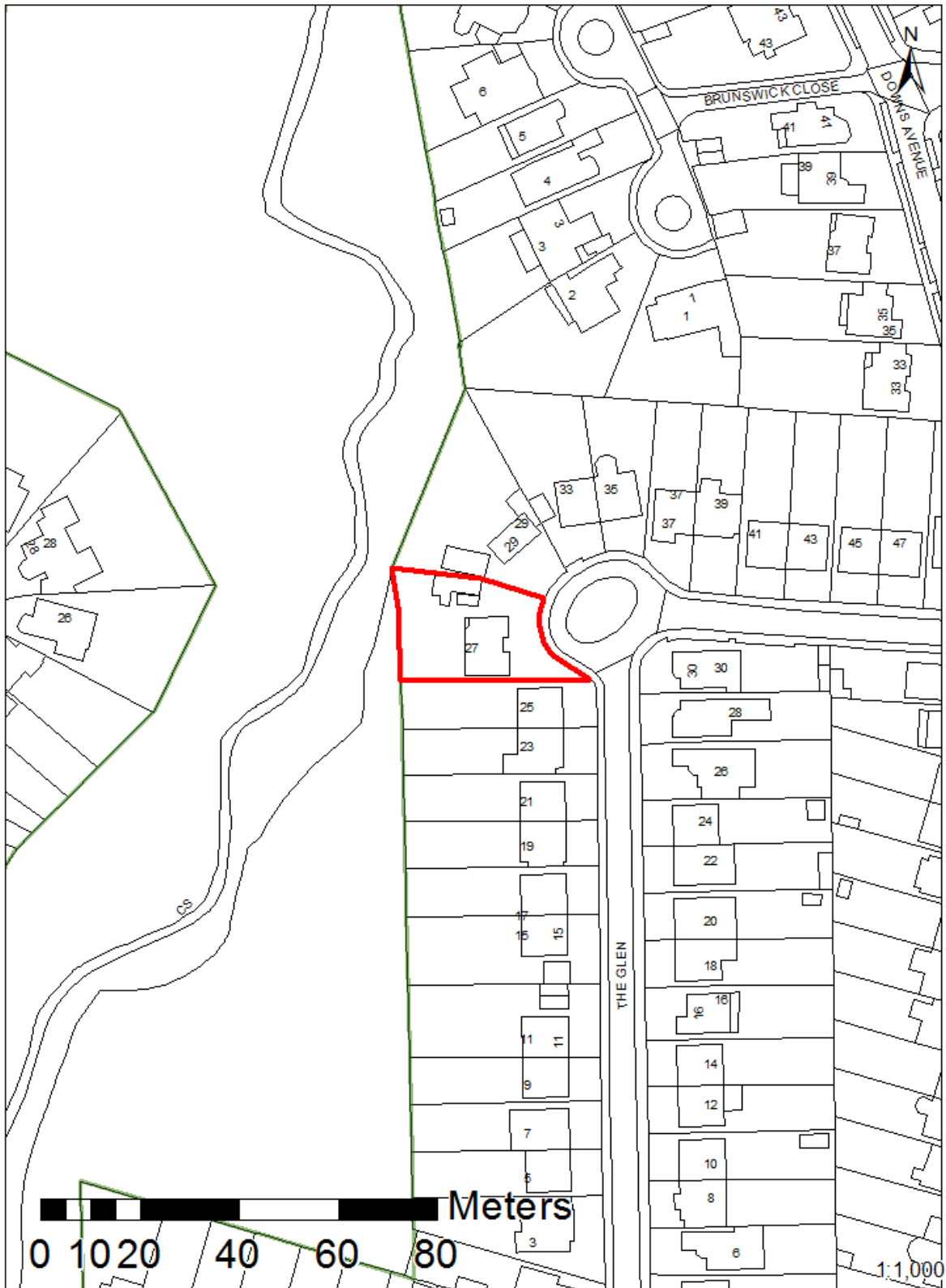


 = application site



| | |
|-------------|-----------|
| 27 The Glen | P/5626/18 |
|-------------|-----------|

27 The Glen HA5 5AX



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LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

17th April 2019

APPLICATION NUMBER: P/5626/18
VALIDATE DATE: 03/01/2019
LOCATION: 27 THE GLEN
WARD: RAYNERS LANE
POSTCODE: HA5 5AX
APPLICANT: MR NAGAKISHORE GONUGUNTLA
AGENT: WESTERN DESIGN ARCHITECTS
CASE OFFICER: KATIE PARKINS
EXPIRY DATE:

PURPOSE OF REPORT/PROPOSAL

Re-development to provide a pair of detached two storey dwellings with habitable roofspace (1 x 3 bed and 1 x 2 bed); solar panels on roof; private amenity space; landscaping; boundary treatment; parking; bin /cycle storage

The Planning Committee is asked to:

RECOMMENDATION A

The Planning Committee is asked to:

- 1) agree the reasons for approval as set out in this report, and
- 2) grant planning permission subject to authority being delegated to the Chief Planning Officer in consultation with the Director of Legal and Governance Services if necessary, for the completion of the discussions in relation to biodiversity which may or may not include minor amendments to the conditions (set out in Appendix 1 of this report) or additional conditions and/or the completion of a Section 106 Legal Agreement, if necessary to secure a financial contribution for biodiversity enhancements.

REASON FOR THE RECOMMENDATION

The proposed redevelopment of the site would provide two new dwellings of an acceptable standard of residential accommodation. The siting of the development would be appropriate in this location and would not be at odds with the existing character of development in the immediate area. The proposed internal layouts, specifications and management of the proposed development would provide an acceptable standard of accommodation in accordance with Policies 3.3 and 3.5 of The London Plan (2016) and Policy DM1 of the DMP (2013).

The decision to **GRANT** planning permission has been taken having regard to the National Planning Policy Framework (2018), the policies and proposals in The London Plan (2016), the

Harrow Core Strategy (2012) and the Development Management Policies Local Plan (2013), and to all relevant material considerations, and any comments received in response to publicity and consultation.

RECOMMENDATION B:

That if the outstanding issues in relation to biodiversity are not concluded by the 17th May 2019 or such extended period as may be agreed in writing by the Chief Planning Officer, then delegate the decision to the Divisional Director of Planning to **REFUSE** planning permission on the grounds that:

The proposed development is located adjacent to a Site of Importance for Nature Conservation and would not secure the necessary protection and enhancement of biodiversity and access to nature, contrary to the National Planning Policy Framework (2018), policy 7.19 of The London Plan (2016), policy CS1 of the Core Strategy (2012) and policies DM1, DM20 and DM21 of the Development Management Policies Local Plan (2013).

INFORMATION

This application is reported to Planning Committee due to the number of representations received objecting to the proposed development, in accordance with proviso E of the 4 Planning and Building Control scheme of delegation dated 12 December 2018.

| | |
|---|----------------------------------|
| Statutory Return Type: | 13 (Minor Dwellings) |
| Council Interest: | N/A |
| Additional Floorspace: | 403sqm (residential) |
| GLA Community Infrastructure Levy (CIL) Contribution (provisional): | £24,180 (excluding indexation) |
| Local CIL requirement: | £44,368.5 (excluding indexation) |

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 CRIME & DISORDER ACT

Policies 7.3.B and 7.13.B of The London Plan and Policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the development does not adversely affect crime risk.

OFFICER REPORT

PART 1: Planning Application Fact Sheet

| The Site | |
|----------------------------|---|
| Address | 27 The Glen, Pinner, HA5 5AX |
| Applicant | Mr Nagakishore Gonuguntla |
| Ward | Rayners Lane |
| Local Plan allocation | N/A |
| Conservation Area | N/A |
| Listed Building | N/A |
| Setting of Listed Building | N/A |
| Building of Local Interest | N/A |
| Tree Preservation Order | N/A |
| Other | Flood Zone 2 Adjacent to a Site of Importance for Nature Conservation |

PART 2 : Assessment

1.0 SITE DESCRIPTION

- 1.1 The proposed development relates to no. 27 The Glen, located on the round-about in the corner of the street. The site currently comprises a bungalow with detached outbuilding.
- 1.2 A single off-street parking space is provided to the front of the dwelling.
- 1.3 The site slopes away from The Glen, towards the rear boundary.
- 1.4 Properties along The Glen generally consist of chalet bungalows, some of which have been extended by side and rear roof extensions.
- 1.5 The adjoining neighbour to the north-east (No. 29) is a two-storey detached dwelling with a detached outbuilding located adjacent to the common boundary with the application site.
- 1.6 The neighbour to the south (No. 25) is a semi-detached chalet bungalow which is sited forward of the application property.
- 1.7 The rear garden backs directly onto the Yeading Brook SINC which is of Borough Grade II importance

1 PROPOSAL

- 2.1 It is proposed to demolish the existing dwellinghouse and to redevelop the site to provide two detached dwellings (1x3-bed and 1x2-bed) with habitable roofspace and private amenity space.
- 2.2 Solar panels would be provided on the roof.
- 2.3 Bin/cycle storage is proposed within the rear gardens.

3 RELEVANT PLANNING HISTORY

- 3.1 A summary of the relevant planning application history is set out in the table below:

| | | |
|---|--|--------------------|
| P/3420/18 | Re-Development To Provide A Pair Of Detached Two Storey Dwellings With Habitable Roofspace (2 X 3 Beds); Solar Panels On Roof; Private Amenity Space; Landscaping; Boundary Treatment; Parking; Bin /Cycle Storage | Refused:12/10/2018 |
| Refused for the following reasons: | | |
| 1. The proposed development, by reason of its footprint, siting, bulk and mass would be overbearing, resulting in a detrimental impact to the visual amenities of No.25 The Glen, The proposed dwellings, due to proposed rear balconies would result in overlooking and a detrimental loss of privacy to No.25 and No.29 The Glen. The proposal is therefore contrary to the National Planning | | |

Policy Framework (2018), Policy 7.6B of The London Plan (2016), Policy DM1 of the Harrow Development Management Policies Local Plan (2013), and the adopted Supplementary Planning Document Residential Design Guide (2010).

2. The proposed development by reason of the proposed basement levels and the site being located within an area subject to the highest risk of flooding would make the development susceptible to flooding, contrary to the National Planning Policy Framework (2018), Policy 5.12 of The London Plan (2016), Core Policy CS1U of Harrow Core Strategy (2012) and Policies DM 9 and DM 10 of the Harrow Development Management Policies Local Plan (2013).

4 **CONSULTATION**

4.1 Letters were sent out on 03/01/2019 and the public consultation period expired on 24/01/2019.

4.2 Adjoining Properties

| | |
|---|----|
| Number of letters Sent | 15 |
| Number of Responses Received | 17 |
| Number in Support | 0 |
| Number of Objections | 17 |
| Number of other Representations (neither objecting or supporting) | 0 |

4.3 A summary of the objections received along with the Officer comments are set out below:

| Summary of Comments | Officer Comments |
|--|---|
| <p><u>Environmental Protection</u> Demolishing the dwelling and rebuilding it has no consideration to the environmental impact. Will be destructive to the local natural habitat, will harm wildlife.</p> | <p>With regards to sustainability please refer to section 6.14 below.</p> <p>With regards to biodiversity please refer to section 6.15 below.</p> |
| <p><u>Flood Risk</u> At present, the plot at No.27 provides drainage for a proportion of The Glen during heavy rain, it runs towards the brook behind the plot. Altering the levels of the plot will affect this ability to drain. Deep foundations is likely to result in flooding. Proposal will cause rise to local flooding, increase in hardstanding.</p> | <p>With regards to development and flood risk please refer to section 6.8 below.</p> |

| Summary of Comments | Officer Comments |
|--|--|
| <p><u>Character and Appearance</u> Existing metropolitan chalet style home is in keeping with the pattern of development. Most dwellings on The Glen are chalet style. Proposed dwellings are at odds with this historic style, out of character. Will alter the open nature of the road. Modern out of character development. Over-development of the site. Unsympathetic. Footprint is substantially increased.</p> <p>A significant increase in footprint and height would result in a loss of views of the streamside open space for residents.</p> <p>Proposed dwellings would be overbearing to neighbouring dwellings.</p> <p>Not a single site in the vicinity has been demolished.</p> <p>Would lead to a landslide of aggressive developments. Would damage the historic character. Garden grabbing.</p> | <p>With regards to impact to the character and appearance of the proposed development, please refer to section 6.3 below.</p> |
| <p><u>Impact to Residential Amenity</u> Loss of privacy and light to neighbouring properties. Would encroach a 45 degree splay taken from neighbouring properties. Additional noise with the additional household. Loss of outlook.</p> | <p>With regards to the impact of the proposed development to the residential amenities of neighbouring properties please refer to section 6.4 below.</p> |
| <p><u>Damage to Grass Island/Impact to Highway/Car Parking</u> Vehicle access to the proposed parking spaces is limited, made worse by the narrow width of the road outside.</p> <p>Damage to the grass island outside the site is highly likely. Kids play here – safety is compromised.</p> <p>Proposed parking spaces are clearly very small, access to the parking spaces is very tight, on street parking is likely to occur. No parking in front of the site. Cars will reverse onto the grass island.</p> | <p>With regards to traffic and parking please refer to section 6.7 below.</p> |
| <p><u>Landscaping/Refuse Storage</u> Inadequate soft landscaping. Refuse storage to be located at the rear of each property.</p> | <p>With regards to landscaping and refuse storage please refer to section 6.3 below.</p> |

| Summary of Comments | Officer Comments |
|---|--|
| <p><u>Construction Works</u> Construction works will be noisy. Construction vehicles will prevent access to other houses. Will cause obstruction and disturbance.</p> | <p>Please note that this is not a material planning consideration and therefore would not substantiate a reason for refusal.</p> |
| <p><u>Others</u> Proposal would impact property values.</p> <p>Concerns relating to the stability of the ground which will be disturbed by the demolition of the current bungalow and its ability to support the weight of two new buildings.</p> | <p>Please note that matters relating to property values are not a material planning consideration and therefore would not substantiate a reason for refusal.</p> <p>Please note that matters relating to structural and ground integrity is not a material planning consideration and therefore would not substantiate a reason for refusal as this is addressed through building regulations.</p> |

4.4 Statutory and Non Statutory Consultation

4.5 The following consultations have been undertaken:

4.6 External Consultation

| Consultee/Summary of Comments | Officer Comments |
|--|-------------------------|
| <p><u>Designing Out Crime Officers</u> The development is below our remit due to this being below 10 units. However, should the local authority, architect or developer wish for this development to achieve a Secured by Design accreditation, I would be more than happy to assist. If a Secured by Design planning condition is imposed, I would recommend that the developer contacts our unit as soon as possible for advice.</p> | <p>Noted.</p> |
| <p><u>Environment Agency</u> No response received.</p> | <p>Noted.</p> |
| <p><u>Thames Water</u> No response received.</p> | <p>Noted.</p> |

4.7 Internal Consultation

| Consultee/Summary of Comments | Officer Comments |
|--|-------------------------|
| <p><u>LBH Highways</u> This proposal is within a ptal 1b location meaning that access to public transport is considered to be poor. The increase from one to two houses will in turn increase the traffic generated from the existing site however the level is considered to be very low and unlikely to result in any noticeable</p> | <p>Noted.</p> |

| | |
|--|---------------|
| <p>highways impact.</p> <p>Current London Plan standards allow for 1 parking space per unit for 1-2 bed dwellings, therefore, I can confirm that a reduction to one parking space for a two bedroom unit would be acceptable.</p> <p>We have no objection to this proposal.</p> <p>Please add a pre-commencement condition for a construction traffic management plan. This should include (but is not limited to);</p> <ul style="list-style-type: none"> • Parking of vehicles of site operatives/visitors • HGV access to site – loading and unloading of plant and materials • Number of HGV's anticipated • Storage of plant and materials used in constructing the development • Programme of work and phasing • Site layout plan • Highway condition (before, during, after) • Measures to control dust and dirt during construction • A scheme for recycling/disposing of waste resulting from demolition and construction works | |
| <p><u>LBH Waste Officer</u> No response received.</p> | <p>Noted.</p> |
| <p><u>GLA Urban Design Officer</u> I am satisfied that the height and massing of the proposed units are suitable in context - the view from the rear footpath demonstrates this well.</p> | <p>Noted.</p> |
| <p><u>LBH Biodiversity Officer</u> The rear garden backs directly onto the Yeading Brook SINC which is of Borough Grade II importance and forms an important green corridor within the wider area. Given the proximity to the stream and the trees along its banks, there is a requirement for the possible use of the site by bats to be checked. A 'Preliminary Roost Assessment' was conducted, concluding that the bungalow and garage were not presently of use to bats, although there is no statement which says that buildings other than the bungalow were examined. At one point the report also says that the bungalow is covered with interlocking concrete tiles rather than clay tiles. Regardless of the quality of the proposed landscaping there is an obvious loss of soft landscaping, which has a net impact on ecosystem services despite the artificial SuDS solution. Beyond the overall reduction in the vegetated area it would appear that less water from the application site will be percolating into the Yeading Brook. The design has not considered biodiversity from the outset nor was this raised during the preapp. This is disappointing given the proximity of the development site to the SINC. Beyond bats, no</p> | <p>Noted.</p> |

consideration has been given to either policies DM20 and DM21 or relevant policies for London and England, including the requirement for all development to provide net gain for biodiversity. The applicant has also ignored the recommendations of their ecological consultant.

If permission for this application is to be granted, to it should be applied the following:

Conditions

(1) Demolition

a. Prior to any works commencing a method statement detailing how noise impacts are to be mitigated; and the potential for particulate and other pollution (airborne or via site run-off) is to be avoided, with particular regard

to the SINC and the water course which runs through it. (Query – what level of insurance coverage will the contractors be required to carry?)

b. Care to be taken whilst stripping the roof of tiles and if any roosting bats are found all works to cease until the advice of a suitably experienced ecologist has been obtained in order to avoid any criminal offence.

c. A temporary reptile barrier (which may form part of a.) to be erected within the rear garden to prevent injury to protected species, particularly slow worms. Any reptiles or amphibians found within the garden to be placed on the NW side of this barrier.

(2) Wildlife shelters

a. During construction, on the southern aspect of each house, at just under eaves level, a Schwhegler 1FR bat tube to be permanently installed and retained for the life of the property, details of location to be provided to the London Borough of Harrow for approval before construction commences

b. During construction, on the northern aspect of each house, at just under eaves level, a Schwhegler 1SP Sparrow Terrace to be permanently installed and retained for the life of the property, details of location to be provided to the London Borough of Harrow for approval before construction commences

(3) Birds

Where it is not possible to undertake works outside of the main bird breeding season (which runs from March-September) , a minimum 5 metre 'no disturbance' buffer should be left where birds are nesting e.g. in vegetation or buildings. To minimise possible problems any nesting opportunities within 5 metres of the new building footprints should be removed or blocked during the winter (October-February).

(4) Bats

For the lifetime of the property, any external and internal lighting must be of a design and placement to avoid disturbance to bat roosting, foraging or commuting behaviour. Given the proximity of the rear of the two houses to the SINC this will be critical

(5) Garden connectivity to SINC

Any fence between the properties themselves or with the Yeading

| | |
|---|---------------|
| <p>Brook SINC to be provided with a hedgehog access hole</p> <p>Advisory There is inadequate compensation for the loss of soft landscaping and the applicant should be encouraged to consider contributing to the planting of trees within a public greenspace in the near vicinity. This would provide the appropriate level of gain. An alternative, which could be discussed with neighbours could be enhancement of the Glen roundabout.</p> | |
| <p><u>LBH Landscape Architect</u></p> <p>The proposed redevelopment site back onto the Yeading Brook Site of Borough Importance Grade II (SINC) and the existing habitat and vegetation, trees and shrubs should be protected from any potential damage by fencing off with Heras fencing during any construction works. The SINC designation doesn't appear to be noted in the ecology report.</p> <p>There would be a loss of existing garden area amenity space and soft landscaping and the frontage of the two proposed new dwellings, 'Penna and Milis', would be dominated by hard paved landscape, car parking spaces with a frontage open to the road without front boundary treatments, new footpaths incorporated adjacent to the car parking, bin and bike stores and proposed brick raised beds with only a small area of soft landscape in the raised beds. All the hard landscape in the front garden would be unattractive in the street scene. Much more soft landscape would be required in the front garden, to provide streetscene impact and to enhance the biodiversity of the area. There is space for more proposed tree planting and it would be beneficial to reduce the extent of the proposed hard landscape.</p> <p>A high quality landscape proposal would be required, including the use of high quality hard landscape materials.</p> <p>A green roof could be incorporated into the proposed refuse and cycle storage structures and a condition is suggested for this.</p> <p>If you are minded to approve this application <u>the following hard and soft landscape conditions would be required:</u></p> <ul style="list-style-type: none"> • Landscaping to be Approved, including landscape masterplan, hard and soft landscape details. • Soft landscape works to include: • Planting plans (at a scale not less than 1:100) • Schedules of plants, noting species, plant sizes, plant container sizes (all at time of planting) and proposed numbers / densities • Written specification of planting and cultivation works to be undertaken • A landscape implementation programme • Cycle storage including details of the proposed cycle stands with green roof details • Refuse storage details with green roof details. A condition for the refuse and cycle storage could either be separate or incorporated into the hard and soft landscape condition. | <p>Noted.</p> |

| | |
|--|---------------|
| <ul style="list-style-type: none"> • Green roof for the cycle and refuse storage hard and soft landscape details and planting plans, with a written specification of the planting, details of the proposed build-up of the layers for the growing medium, drainage and schedules of plants, noting species, plant sizes or types (all at time of planting) and proposed numbers / densities. Planting to include wildlife friendly planting and native species. • Hard landscape Material Details • Boundary Treatment • Levels – a detailed levels plan of the proposed finished levels. This document needs to explain details of the levels of the buildings, roads and footpaths in relation to the adjoining land and highways, and any other changes proposed in the levels of the site. • Landscaping Scheme – Proposed implementation and implementation programme, including a period of 5 year period for replacements of soft landscape | |
| <p><u>LBH Drainage Department</u></p> <p>With regards to the above planning application, please note that the site is identified within fluvial flood zone 2 according to Environment Agency flood maps. The site is at a risk of flooding, hence a Flood Risk Assessment is required.</p> <p>The proposed development is identified within this flood zone, therefore the development should be protected against flooding.</p> <p><i>Flood Risk Assessment</i></p> <p>We can confirm that the Flood Risk Assessment submitted by the applicant seems fine, however full details of mitigation measures that will be incorporated into the construction are still required. Please note that the application can be conditioned for Flood Mitigation Measures requested.</p> <p><i>Drainage Strategy</i></p> <p>We can confirm that the Drainage Strategy submitted is ok, however the following details are still outstanding:</p> <ul style="list-style-type: none"> • Full drainage design details in line with our requirements attached should be submitted. • A cross section drawing indicating full construction details of permeable paving and also a maintenance plan for permeable paving should be submitted. <p>Please note that the requested drainage details can be conditioned for surface water disposal, foul water disposal, surface water attenuation and storage.</p> <p><i>Vehicle Access</i></p> <p>Please advise the applicant to contact Vehicle Crossings Team on VehicleCrossings@harrow.gov.uk for details/estimate. Please inform the applicant that the vehicle crossing should be constructed in line with Harrow's New Vehicle Crossing Policy, dated September 2017.</p> | <p>Noted.</p> |

5 POLICIES

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:

'If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.'

5.2 The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these should be applied; it is a material consideration in the determination of this application. The current NPPF was published in July 2018 and replaces the first NPPF (March 2012).

5.3 In this instance, the Development Plan comprises The London Plan 2016, The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan (AAP) 2013, the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan SALP 2013 [SALP].

5.4 While this application has been principally considered against the adopted London Plan (2016) policies, some regard has also been given to relevant policies in the Draft London Plan (2017), as this will eventually replace the current London Plan (2016) when adopted and forms part of the development plan for the Borough.

5.5 The document was published in draft form in December 2017 and is currently in the Examination in Public (EiP) stage, with the Panel's report expected in Autumn 2019. Given that the draft Plan is in the EiP stage of the formal process it holds some weight in the determination of planning applications, although lesser weight will be given to those areas of the plan that are being challenged through the EiP process (including any potential inconsistencies with the NPPF).

5.6 Notwithstanding the above, the Draft London Plan (2017) remains a material planning consideration, with relevant policies referenced within the report below and a summary within Informative 1.

6 ASSESSMENT

6.1 The main issues are;

- Principle of the Development
- Character and Appearance of the Area
- Impact to Residential Amenity
- Standard of Residential Accommodation
- Accessibility
- Traffic and Parking
- Development and Flood Risk
- Sustainability
- Biodiversity

6.2 Principle of Development

6.2.1 The National Planning Policy Framework [NPPF] has brought forward a presumption in favour of "sustainable development". The NPPF defines "sustainable development" as meeting the needs of the present without compromising the ability of future generations to meet their own needs. The NPPF sets the three strands of sustainable development for planning to be; to play an economic, social and environmental role. The NPPF, following

the deletion of the Planning Policy Statements and Guidance Notes, continues to encourage the effective use of land by reusing land that has been used previously, recognising that “sustainable development” should make use of these resources first.

- 6.2.2 Having regard to the planning designations on the site, there are no development plan policies that specifically preclude the redevelopment of the site.
- 6.2.3 The Council has developed *Supplementary Planning Document: Garden Land development*. This document should be afforded significant weight in the consideration of this application. The Garden Land Development SPD provides clarity on the purposes of policy CS1.A/B whereby the Council seeks to resist development on ‘garden land’. The harm arising from garden land development does not just relate to issues of character, though this issue is considered further below, but to ensuring the strategic objectives of the development are delivered. The deliverability of the Core Strategy is, in part, dependent on the appropriate development of the borough and to resist garden land development and the Garden Land SPD gives effect to these policies and objectives. The objectives of the Core Strategy are wide-ranging and set a significant challenge for the borough to provide appropriate levels of growth in housing, employment, infrastructural requirements, social cohesion and economic prosperity whilst ensuring that the environmental impacts of development are enhanced.
- 6.2.4 The Garden Land SPD also provides clarity at paragraph 3.1 on ‘what is garden land’ and in the context of this application, confirms that ‘garden land’ includes gardens of houses. However, paragraph 3.7 of the SPD (2013) recognises that proposals for the redevelopment of an existing dwelling or group of dwellings should take into account their original footprint as well as their appropriate enlargement potential.
- 6.2.5 *Paragraph 3.7 clarifies this further by stating “the Council will allow any enlargement in footprint that is equivalent to whichever is the larger of either: the footprint of any permitted extensions (excluding outbuildings) that could be exercised for the dwelling (s); or the footprint of an extension (excluding outbuildings) that would be consistent with Harrow’s Residential Design Guide SPD.*
- 6.2.6 *Paragraph 3.8 goes onto say that “In the consideration of (i) and (ii) regard will be had to any footprint already exercised as permitted development, or implemented from planning permission(s), in respect of the existing dwelling (s) to be demolished.”*
- 6.2.7 The existing property is a detached dwelling which does not appear to have been extended at ground level. It is noted that there is a detached garage located on site, which are specifically excluded from being included as a form of permitted extension to a dwellinghouse. However, in line with the guidance within the Garden Land SPD, the property would be capable of being extended at the rear and to the side in line with current permitted development and prior approval process. Accordingly, in this context, the increased footprint of the proposed falls within the tolerances of paragraph 3.7 of the Garden Land Development SPD and as such, represent an appropriate form of redevelopment on a garden land site.
- 6.2.8 The proposed development is therefore considered acceptable in principle, subject to compliance with the relevant development plan policies and supplementary planning guidance which requires all development to respond positively to the local and historic context, seeks to provide a high quality residential development and protect the amenity of surrounding occupiers.

- 6.2.9 The provision of additional housing on this site would contribute to the strategic vision of Policy 3.3 of The London Plan (2016) which recognises the need for more homes throughout Greater London and Policy CS1 of the Harrow Core Strategy (2012) with regards to the provision of additional housing within the borough.
- 6.2.10 The proposed residential use would be consistent with surrounding land uses. The use of the land for residential uses could therefore be supported in principle and would make a contribution to the housing stock in the borough. For these reasons it is considered that the principle of the use of this site for the provision of housing is acceptable, subject to consideration of further policy requirements as detailed below.
- 6.2.11 Given the above, the principle of the proposed development to create an additional 2 family dwellings is considered to be acceptable by officers, subject to consideration of further policy requirements as detailed below.

6.3 **Character and Appearance of the Area**

- 6.3.1 The London Plan (2016) policies 7.4B and 7.6B set out the design principles that all boroughs should seek to ensure for all development proposals. The London Plan (2016) policy 7.4B states, inter alia, that all development proposals should have regard to the local context, contribute to a positive relationship between the urban landscape and natural features, be human in scale, make a positive contribution and should be informed by the historic environment. The London Plan (2016) policy 7.6B states, inter alia, that all development proposals should; be of the highest architectural quality, which complement the local architectural character and be of an appropriate proportion composition, scale and orientation.
- 6.3.2 Core Policy CS(B) states that 'All development shall respond positively to the local and historic context in terms of design, siting, density and spacing, reinforce the positive attributes of local distinctiveness whilst promoting innovative design and/or enhancing areas of poor design; extensions should respect their host building.'
- 6.3.3 Policy DM1 A of the Local Development Management Policies Local Plan (2013) states that: "All development and change of use proposals must achieve a high standard of design and layout. Proposals which fail to achieve a high standard of design and layout, or which are detrimental to local character and appearance will be resisted". It goes on to say that:

"The assessment of the design and layout of proposals will have regard to:

- a) the massing, bulk, scale and height of proposed buildings in relation to the location, the surroundings and any impact on neighbouring occupiers;
- b) the appearance of proposed buildings, including but not limited to architectural inspiration, detailing, roof form, materials and colour, entrances, windows and the discreet accommodation of external services;
- c) the context provided by neighbouring buildings and the local character and pattern of development;
- d) the provision of appropriate space around buildings for setting and landscaping, as a resource for occupiers and to secure privacy and amenity;
- e) the need to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit;"

- 6.3.4 Paragraph 4.6 of the Council's adopted SPD (2010) states that 'The design and layout of new development should be informed by the pattern of development of the area in which it is situated. The continuity of building lines, forecourt depths, road layout, space about the building and rear garden areas are likely to be important components when redeveloping sites within existing residential areas'. In addition, paragraph 4.16 makes clear that development proposals should recognise the scale, massing and roof form of the surrounding buildings.
- 6.3.5 This section of The Glen has a mixed character, consisting of two storey chalet-style bungalows, bungalows and a two storey detached dwellinghouse. The proposed dwellings adopt a more contemporary but sympathetic architectural design rationale, and given the site circumstances and the proposed set-back from the front boundary of the site, it is not considered that the proposed dwellings would be unduly prominent or be an anomaly within the streetscene. Furthermore, the GLA Urban Design Officer was consulted on the proposal who is satisfied that the height and massing is suitable given the site's context and raised no objection to the proposed development.
- 6.3.6 A previous application for the redevelopment of the site (P/3420/18) for two dwellings of a similar design and appearance, was previously refused. However it was refused on grounds relating to its impact to the residential amenities of No.27 The Glen and flood risk only. Its design and appearance and its impact to the character and appearance of the wider area was considered acceptable.
- 6.3.7 The proposed dwellings would have solar panels on the side roof slopes and would therefore not be visually prominent within the streetscene. Furthermore, the use of photovoltaics is supported in both the London Plan (2016) and the Draft London Plan (2017), which seeks development proposals to utilise renewable energy technologies, such as photovoltaics.
- 6.3.8 It is therefore considered that the proposed dwellings would not result in a detrimental impact to the character and appearance of the surrounding area, in accordance with the high quality design aspirations of the National Planning Policy Framework (2018), policies 3.5, 7.4 and 4.6 of The London Plan (2016), policy CS1 of the Core Strategy (2012), policy DM1 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document: Residential Design Guide (2010).
- 6.3.9 Landscaping
- 6.3.10 Policy DM22 of the DMP requires development proposals to include hard and soft landscaping that is appropriate to the area; is well laid out; achieves a suitable visual setting for the building(s); provides for sufficient space for new or existing trees and planting to grow and supports biodiversity.
- 6.3.11 The Council's Landscape Architect was consulted who confirmed the following "*The proposed redevelopment site back onto the Yeading Brook Site of Borough Importance Grade II (SINC) and the existing habitat and vegetation, trees and shrubs should be protected from any potential damage by fencing off with Heras fencing during any construction works. The SINC designation doesn't appear to be noted in the ecology report. There would be a loss of existing garden area amenity space and soft landscaping and the frontage of the two proposed new dwellings, 'Penna and Milis', would be dominated by hard paved landscape, car parking spaces with a frontage open to the road without front boundary treatments, new footpaths incorporated adjacent to the car parking, bin and bike stores and proposed brick raised beds with only a small area of soft landscape in the raised beds. All the hard landscape in the front garden would be*

unattractive in the street scene. Much more soft landscape would be required in the front garden, to provide streetscene impact and to enhance the biodiversity of the area. There is space for more proposed tree planting and it would be beneficial to reduce the extent of the proposed hard landscape. A high quality landscape proposal would be required, including the use of high quality hard landscape materials. A green roof could be incorporated into the proposed refuse and cycle storage structures and a condition is suggested for this”.

6.3.12 As discussed further below in Section 6.7 relating to traffic and parking, there is an over provision of parking spaces proposed within the curtilage of Penna. Therefore, in order to provide sufficient space for soft landscaping, it is considered appropriate to impose a condition to reduce the number of parking spaces proposed within the curtilage of Penna, from 2 to 1. This would provide additional space within the development for additional soft landscaping to soften the proposed development and to ensure a suitable visual setting. Therefore a condition is appropriate requiring the submission of an amended soft and hard landscaping plan to the Local Planning Authority. On this basis, the proposal complies with the high quality design aspirations of the National Planning Policy Framework (2018), policies 3.5, 7.4 and 7.6 of The London Plan (2016), policies DM1, DM22 and DM23 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document: Residential Design Guide (2010).

6.3.13 Refuse Storage

6.3.14 Policy DM45 of the Development Management Policies Local Plan states that ‘all proposals will be required to make on-site provision for general waste, the separation of recyclable materials and the collection of organic material for composting’. In terms of character and appearance, this policy requires refuse storage bins to ‘be located and screened to avoid nuisance to occupiers and adverse visual impact’.

6.3.15 The applicant has proposed three waste bins per dwelling in order to meet the needs for general waste, recyclable materials and organic waste, which would be sufficient to meet the needs of future occupiers and would safeguard the amenities of the local area. The proposal therefore complies with policy DM45 of the Harrow Development Management Policies Local Plan (2013).

6.4 Impact to Residential Amenity

6.4.1 Policy 7.6B, subsection D, of The London Plan states that new buildings and structures should not cause unacceptable harm to the amenity of surrounding land and buildings, particularly residential buildings, in relation to privacy, overshadowing, wind and microclimate.

6.4.2 Following on from this, Policy DM1.C of the DMP states that “*All development and change of use proposals must achieve a high standard of privacy and amenity. Proposals that would be detrimental to the privacy and amenity of neighbouring occupiers, or that would fail to achieve satisfactory privacy and amenity for future occupiers of development, will be resisted*”.

6.4.3 No.25 The Glen is adjacent the southern boundary of the application site and would be most impacted by Penna.

6.4.4 The first reason for the refusal of the previous application, P/3420/18 is as follows:

The proposed development, by reason of its footprint, siting, bulk and mass would be overbearing, resulting in a detrimental impact to the visual amenities of No.25 The Glen,

The proposed dwellings, due to proposed rear balconies would result in overlooking and a detrimental loss of privacy to No.25 and No.29 The Glen. The proposal is therefore contrary to the National Planning Policy Framework (2018), Policy 7.6B of The London Plan (2016), Policy DM1 of the Harrow Development Management Policies Local Plan (2013), and the adopted Supplementary Planning Document Residential Design Guide (2010).

- 6.4.5 Following the refusal of the above planning permission, the proposal has been amended to reduce the depth of projection of the southern flank wall, which is set-in approximately 0.9m from the side boundary of the site, beyond the rear wall of No.25 from 12.85m to approximately 10m at first floor level. The proposed dwelling would therefore still be visible from the rear windows and rear garden of No.25 The Glen. In addition, a proposed balcony to the rear of Penna has been removed from the proposal.
- 6.4.6 The submitted drawings indicate that the proposed dwelling would interrupt a 45 degree splay from the first floor corner of No.25 The Glen, however a similar relationship is currently established between the existing dwelling and No. 25 The Glen. The proposed elevations and site plan clearly indicate the extent of the existing and proposed dwellings, and the proposed dwelling is approximately 1.8m higher than the existing dwelling. However, it would have a gable end on the front and a hipped end on the rear elevations and therefore due to the design of the roof, it would slope away from the side boundary of the site towards the ridge, thereby reducing its overall bulk and mass. Although the proposed dwelling would encroach the 45 degree splay, it is noted that this relationship currently exists and therefore its light and outlook is already compromised. Due to the distance of the proposed dwellinghouse from the side boundary of the site, its overall height and roof design, it is not considered that the proposed development would exacerbate the harm which currently exists and therefore the proposed development would not result in a detrimental impact to the residential amenities of No.25 The Glen due to a loss of outlook, light or privacy.
- 6.4.7 Furthermore, a roof light is proposed in the roof of the lower ground floor level, towards the southern side of the dwellinghouse. However any views from this window would be at an oblique angle and therefore would not result in a detrimental impact to the residential amenities of No.25 The Glen.
- 6.4.8 The primary impact of 'Millis' would be experienced by No.29 The Glen, to the north of the application site. The proposed dwelling would be sited approximately 4.58m from the flank wall of No.29, with an intervening double garage. Furthermore, No.29 is orientated away from the application site, thereby reducing the harm of the proposed development to its residential amenities. The front elevation of the proposed dwelling contains a door and windows, however any views to No.29 would be at an oblique angle and therefore would not result in direct overlooking.
- 6.4.9 There is a door and window proposed at ground floor level facing No.29. however due to the set-back of the proposed dwelling from the north boundary of the site, and the intervening garage, it is not considered that the proposal would result in a detrimental impact to the amenities of No.29 The Glen due to a loss of privacy.
- 6.4.10 It is considered that the levels of noise and traffic generated from the proposed development, given that the proposal would result in one additional dwelling to the site, would not give rise to a noticeable increase in noise, disturbance and traffic levels over and above the existing situation.

6.4.11 The proposed development due to its footprint, size, design and site layout would not result in a detrimental impact to the residential amenities of neighbouring properties. The proposal therefore complies with the high quality design aspirations of the National Planning Policy Framework (2018), policy 7.6 of The London Plan (2016), policy CS1 of the Core Strategy (2012), policy DM1 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document: Residential Design Guide (2010).

6.5 **Standard of Residential Accommodation**

6.5.1 London Plan Policy 3.5 Quality and Design of Housing Developments sets out a range of criteria for achieving good quality residential development. Part B of the policy deals with residential development at the neighbourhood scale; Part C addresses quality issues at the level of the individual dwelling.

6.5.2 Core Strategy Policy CS1 K requires a high standard of residential design and layout consistent with the London Plan and associated guidance. Policies DM1 Achieving a High Standard of Development and DM27 Amenity Space set out a number of privacy and amenity criteria for the assessment of proposals for residential development.

6.5.3 Internal space

6.5.4 The following is a breakdown of the internal space of each unit.

| | Proposed GIA | Proposed Storage | Minimum GIA | Minimum Storage |
|--|--------------|------------------|-------------|-----------------|
| Unit 1 (Penna) <i>2 bedroom (4 person)</i> | 130sqm | 1.5sqm | 79sqm | 2.0sqm |
| Unit 1 (Millis) <i>3 bedroom (6 person)</i> | 210sqm | 1.8sqm | 108sqm | 2.5sqm |

6.5.5 Although it is noted that the proposed dwellings would not provide sufficient storage space in accordance with policy 3.5C of The London Plan (2016), this would not substantiate a reason for the refusal of this application as there would be sufficient space to provide additional storage space should a future occupier require it. As per the above table, the proposed dwellings would have sufficient gross internal area to comply with the minimum standards provided at policy 3.5C of The London Plan (2016) and would provide an acceptable layout. The proposal is therefore acceptable in this regard.

6.5.6 Privacy

6.5.7 The SPG seeks an adequate level of privacy to habitable rooms in relation to neighbouring property, the street and other public spaces. Policy DM1 Achieving a High Standard of Development in relation to privacy has regard to:

- the prevailing character of privacy in the area and the need to make effective use of land;
- the overlooking relationship between windows and outdoor spaces;
- the distances between facing windows to habitable rooms and kitchens; and;
- the relationship between buildings and site boundaries.

- 6.5.8 The proposed dwellings have been designed taking into account their relationship with neighbouring properties to ensure an acceptable standard of privacy for future residents. On this basis, it is considered that the proposal would provide an acceptable level of privacy for future occupiers.
- 6.5.9 Dual Aspect/ Daylight, Sunlight and Outlook
- 6.5.10 Policy DM1 Achieving a High Standard of Development, in seeking a high standard of amenity for future occupiers of a development, has regard to the adequacy of light and outlook within buildings (habitable rooms and kitchens). The Mayor of London SPG seeks to avoid single aspect dwellings where:
- the dwelling is north facing (defined as being within 45 degrees of north);
 - the dwelling would be exposed to harmful levels of external noise;
 - or the dwelling would contain three or more bedrooms.
- 6.5.11 The SPG establishes no baseline standard for daylight or sunlight. The weight to be attached to this consideration, within the context of the whole amenity that would be afforded to future occupiers of the development, is ultimately a question of judgement.
- 6.5.12 Several of the rooms within the proposed dwellings would have single outlook, however the properties have been designed with limited openings within the flank walls to reduce the impact of the proposed development to the amenities of neighbouring dwellings. However the proposed dwellings would have openings within the front and rear elevation, and with regards to the openings on the rear elevation, would provide an outlook over the Site of Importance for Nature Conservation. On this basis, it is considered that the proposal would provide an adequate level of daylight, sunlight and outlook for future occupiers.
- 6.5.13 Amenity Space
- 6.5.14 Policy DM27 Amenity Space of the Development Management Policies Local Plan document states that the appropriate form and amount of amenity space should be informed by the Mayor's Housing Design Guide (i.e. the SPG) and criteria set out in the policy.
- 6.5.15 The existing garden would be subdivided to provide each dwellinghouse with private amenity space. Penna and Millis would have rear gardens of approximately 65sqm and 100sqm, respectively, which are considered to be of a suitable size to meet the needs of future residents. The proposal therefore complies with Policy DM27 of the DMP and the Supplementary Planning Document: Residential Design Guide (2010).
- 6.5.16 Internal Noise
- 6.5.17 With regards to vertical stacking, any disturbance is likely to be addressed by soundproofing as per building regulations and therefore this would not substantiate a reason for refusal.
- 6.5.18 It is therefore considered that the proposal would provide an acceptable standard of residential accommodation for future occupiers, in relation to floor area, layout, privacy, daylight/sunlight, outlook and access to amenity space. The proposal therefore complies with the high quality design aspirations of the National Planning Policy Framework (2018), policies 3.5 and 3.8 of The London Plan (2016), policy CS1 of the Core Strategy (2012), policies DM1, DM24 and DM27 of the Harrow Development Management Policies Local

Plan (2013) and the Supplementary Planning Document: Residential Design Guide (2010).

6.6 **Accessibility**

- 6.6.1 Policy DM2 of the DMP and policies 3.5 and 3.8 of The London Plan (2016) seek to ensure that all new housing is built to 'Lifetime Homes' standards. Furthermore, The London Plan policy 7.2 requires all future development to meet the highest standards of accessibility and inclusion. In October 2015 these standards were replaced by New National Standards which require homes to meet Building regulation M4(2) - 'accessible and adaptable dwellings'.
- 6.6.2 A Condition is recommended to ensure that the proposed development meets regulation M4(2) of the Building Regulations which would secure an appropriate standard for future occupiers and make the units accessible to all. On this basis, it is considered that the proposal complies with the high quality design aspirations of the National Planning Policy Framework (2018), policies 3.5 and 7.2 of The London Plan (2016), policy CS1 of the Core Strategy (2012), policies DM1 and DM2 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document: Residential Design Guide (2010).

6.7 **Traffic and Parking**

- 6.7.1 The London Plan (2016) policies 6.3, 6.9 and 6.13 seek to regulate parking in order to minimise additional car travel and encourage use of more sustainable means of travel. Core Strategy Policy CS 1 R and policy DM 42 of the Development Management DPD, also seeks to provide a managed response to car use and traffic growth associated with new development.
- 6.7.2 The site lies within a Public Transport Accessibility Level (PTAL) of 1b, on a scale of 1 to 6b, the latter being the best, denoting good access to public transport. Therefore access to public transport is poor. There are double yellow lines and a grassed island to the front of the application site. There are no other parking restrictions within the vicinity of the site.
- 6.7.3 The Highways Department was consulted on this application who raised no objection to the proposed development. The Highways Officer stated "*The increase from one to two houses will in turn increase the traffic generated from the existing site however the level is considered to be very low and unlikely to result in any noticeable highways impact.*"
- 6.7.4 The Highways Department has requested that a pre-commencement condition for the submission of a constriction traffic management plan to the Local Planning Authority for approval, and for the development to be implemented in accordance with the approved details.
- 6.7.5 **Car Parking**
- 6.7.6 In accordance with Policy 6.13 of the London Plan (2016) provides maximum parking standards. A summary of the proposed car parking provision is provided below:

| | Proposed Car Parking Spaces | Maximum Parking Spaces as per London Plan (2016) Standards |
|-----------------------------------|-----------------------------|--|
| Unit 1 (Penna) 2 beds/4 person | 2* | 1 |

| | | |
|------------------------------------|---|---|
| Unit 1 (Millis) 3 beds/6 person | 2 | 2 |
|------------------------------------|---|---|

- 6.7.7 It is noted that the proposed parking spaces are of a standard size – 2.4m x 4.8m
- 6.7.8 As per the above table, there would be an over-provision of car parking spaces at Penna. As discussed above, in accordance with the consultation response from the Landscape Architect, additional soft landscaping is required in the front gardens to improve the character and appearance of the proposed dwelling. Therefore, to provide additional space for soft landscaping within the curtilage of the site of Penna, it is considered appropriate to impose a condition to request an amended site plan to reduce the number of parking spaces within the curtilage of the site to 1 parking space. The Highways Department raised no objection to a reduction in the number of parking spaces within the curtilage of Penna.
- 6.7.9 **Cycle Parking**
- 6.7.10 Policy 6.9 of the London Plan (2016) requires developments to “provide secure, integrated, convenient and accessible cycle parking facilities in line with the minimum standards set out in Table 6.3 and the guidance set out in the London Cycle Design Standards”.
- 6.7.11 In accordance with Policy 6.9 of the London Plan (2016), cycle parking should be provided at 1 space per 1-bedroom unit, and 2 spaces per all other dwellings. The proposed development would therefore require 2 cycle spaces per dwelling. The Design and Access Statement confirms that the proposed cycle stores would be located within the rear garden of each dwelling, however this has not been shown on the proposed site plan. Therefore, a condition is recommended to ensure details of cycle parking are submitted for the approval of the Local Planning Authority prior to occupation. Such cycle stores should be installed prior to occupation and thereafter retained.
- 6.7.12 A previous application for the redevelopment of the site (P/3420/18) for two dwellings was previously refused. However it was refused on grounds relating to its impact to the residential amenities of No.27 The Glen and flood risk only. Its impact in terms of highway safety, access and parking was therefore considered to be acceptable. The proposal therefore complies with the high quality design aspirations of the National Planning Policy Framework (2018), policies 6.3, 6.9 and 6.13 of The London Plan (2016), policy CS1 of the Core Strategy (2012), policies DM1 and DM42 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document: Residential Design Guide (2010).
- 6.8 **Development and Flood Risk**
- 6.9 The application site is within fluvial flood zone 2 according to Environment Agency flood maps. There is also an open main river located to the rear of the site. The site is at a highest risk of flooding, hence a Flood Risk Assessment is required.
- 6.10 *Policy DM9.A of the DMP states "Proposals requiring a Flood Risk Assessment must demonstrate that the development will be resistant and resilient to all relevant sources of flooding including surface water. The design and layout of proposals requiring a Flood Risk Assessment must contribute to flood risk management and reduction ande) not create habitable basements in areas of medium and high flood risk".*
- 6.11 Both proposed dwellings would have a lower ground floor level and the application has been supported by a Flood Risk Assessment.

6.12 The Councils' Drainage Department was consulted who raised no objection to the proposed development subject to conditions relating to flood risk mitigation measures, full drainage design details and a cross-section drawing and maintenance plan relating to permeable paving.

6.12.1 Therefore, on this basis this application has satisfactorily addressed the second reason for the refusal of planning application with reference P/3420/18. The proposal therefore complies with the National Planning Policy Framework (2018), policies 5.12 and 5.13 of The London Plan (2016), policy CS1 of the Core Strategy (2012) and policies DM1, DM9 and DM10 of the Harrow Development Management Policies Local Plan (2013).

6.13 **Sustainability**

6.13.1 Policy 5.2 of The London Plan (2016) seeks to minimise the emission of carbon dioxide by being lean, clean and green, and requires all new residential development to achieve zero carbon.

6.13.2 Policy DM12 outlines that *"The design and layout of development proposals should:*

- a) *utilise natural systems such as passive solar design and, wherever possible, incorporate*
- b) *high performing energy retention materials, to supplement the benefits of traditional*
- c) *measures such as insulation and double glazing;*
- d) *make provision for natural ventilation and shading to prevent internal overheating;*
- e) *incorporate techniques that enhance biodiversity, such as green roofs and green walls*
- f) *(such techniques will benefit other sustainability objectives including surface water attenuation and the avoidance of internal and urban over-heating); and*
- g) *where relevant, the design and layout of buildings should incorporate measures to mitigate*
- h) *any significant noise or air pollution arising from the future use of the development."*

6.13.3 The use of photovoltaics is supported in both the London Plan (2016) and the Draft London Plan (2017), which seeks development proposals to utilise renewable energy technologies, such as photovoltaics. The proposed dwellings would have solar panels on the side roof slopes, which would assist to reduce carbon dioxide emissions.

6.13.4 Furthermore, the Landscape Architect was consulted on this proposal who confirmed the incorporation of green roofs in the proposed refuse and cycle store structures. It is therefore considered appropriate to include a condition to ensure such details are submitted to the Local Planning Authority for approval.

6.13.5 On this basis, it is considered that the proposed development would utilise suitable sustainability measures, in accordance with the National Planning Policy Framework (2018), policies 5.2 and 5.3 of the London Plan (2016), policy CS1 of the Core Strategy (2012) and policy DM12 of the Development Management Policies Local Plan (2013).

6.14 **Biodiversity**

6.14.1 The rear boundary of the application site is adjacent to a Site of Importance for Nature Conservation.

6.14.2 Policy DM20.A of the Development Management Policies Local Plan (2013) states *"proposals that would be detrimental to locally important biodiversity.... will be resisted"*.

- 6.14.3 Policy DM20.B of the Development Management Policies Local Plan (2013) states “*the design and layout of new development should retain and enhance any significant existing features of biodiversity value within the site. Potential impacts on biodiversity should be avoided or appropriate mitigation sought. Where loss of a significant existing features of biodiversity is unavoidable, replacement features of equivalent biodiversity is unavoidable, replacement features of equivalent biodiversity value should be provided on site or through contributions towards the implementation of relevant projects*”
- 6.14.4 This application was supported by a Ecological Impact Assessment. The Council’s Biodiversity Officer was consulted who confirmed “*The rear garden backs directly onto the Yeading Brook SINC which is of Borough Grade II importance and forms an important green corridor within the wider area. Given the proximity to the stream and the trees along its banks, there is a requirement for the possible use of the site by bats to be checked. A ‘Preliminary Roost Assessment’ was conducted, concluding that the bungalow and garage were not presently of use to bats, although there is no statement which says that buildings other than the bungalow were examined. At one point the report also says that the bungalow is covered with interlocking concrete tiles rather than clay tiles. Regardless of the quality of the proposed landscaping there is an obvious loss of soft landscaping, which has a net impact on ecosystem services despite the artificial SuDS solution. Beyond the overall reduction in the vegetated area it would appear that less water from the application site will be percolating into the Yeading Brook. The design has not considered biodiversity from the outset nor was this raised during the pre-app. This is disappointing given the proximity of the development site to the SINC. Beyond bats, no consideration has been given to either policies DM20 and DM21 or relevant policies for London and England, including the requirement for all development to provide net gain for biodiversity. The applicant has also ignored the recommendations of their ecological consultant. If permission for this application is to be granted, to it should be subject to conditions relating to demolition, the provision of wildlife shelters, birds and bats, and garden connectivity to the SINC. There is inadequate compensation for the loss of soft landscaping and the applicant should be encouraged to consider contributing to the planting of trees within a public greenspace in the near vicinity. This would provide the appropriate level of gain.*”
- 6.14.5 In accordance with the recommendations provided by the Biodiversity Officer, conditions are appropriate relating to demolition, the provision of wildlife shelters, birds and bats and garden connectivity to the SINC. Furthermore, the Applicant has agreed to such conditions. In addition, this application is recommended for approval subject to authority being delegated to the Chief Planning Officer in consultation with the Director of Legal and Governance Services if necessary, for the completion of the discussions in relation to biodiversity which may or may not include minor amendments to the conditions (set out in Appendix 1 of this report) or additional conditions and/or the completion of a Section 106 Legal Agreement, if necessary to secure a financial contribution for biodiversity enhancements. This is to ensure the proposal complies with the National Planning Policy Framework (2018), policy 7.19 of the London Plan (2016), policy CS1 of the Core Strategy (2012) and policies DM1, DM20 and DM21 of the Development Management Policies Local Plan (2013).

7 CONCLUSION AND REASONS FOR APPROVAL

- 7.1 The proposed development is a high quality residential development of a modern architectural style which would incorporate sustainability measures and make a positive contribution to the local area, in terms of quality and character.

- 7.2 The proposed development, due to its overall size and scale and its relationship with neighbouring properties would have an acceptable impact in terms of residential amenity.
- 7.3 The proposed dwellings, due to their gross internal areas, internal layouts and amenity space provision, would provide an acceptable standard of accommodation for future residents.
- 7.4 Sufficient car and cycle parking would be provided within the curtilage of the site and the proposal would not result in a detrimental impact to highway safety. Furthermore, the Drainage Department raised no objection to the proposed development.
- 7.5 It is therefore considered that this application has addressed the previous reasons for the refusal of planning application P/3420/18.
- 7.4 The recommendation to approve planning permission has been taken having regard to the National Planning Policy Framework (2018), the policies and proposals in The London Plan (2016), the Draft London Plan (2017), the Harrow Core Strategy (2012) and the Development Management Policies Local Plan 2013, and to all relevant material considerations, and any comments received in response to publicity and consultation.

APPENDIX 1: Conditions and Informatives

Conditions

1. Timing

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2. Approved Drawing and Documents

The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

Existing Elevations dated Nov 2017; Existing Floorplans dated Nov 2017; Existing Survey dated Nov 2017; 001; 002; 103; 110; 111; 112; 113; 114; 115; 116; 117; 140; Design and Access Statement; Micro Drainage – 1Yr Return Period; Micro Drainage – 30 Yr Return Period; Micro Drainage – 100 Yr Return Period; Ecology Assessment; Drainage Statement dated December 2018; Flood Risk Assessment dated December 2018; 308.0003

REASON: For the avoidance of doubt and in the interests of proper planning.

3. Demolition and Construction Method Statement

No development shall take place, including any works of demolition, until a Demolition and Construction Method Statement & Logistics Plan has been submitted to, and approved in writing by, the local planning authority. The Method Statement shall provide for:

- a) detailed timeline for the phases and implementation of the development
- b) demolition method statement
- c) the parking of vehicles of site operatives and visitors;
- d) loading and unloading of plant and materials;
- e) storage of plant and materials used in constructing the development;
- f) measures to control the emission of dust and dirt during construction; and
- g) scheme for recycling/disposing of waste resulting from demolition and construction works.

The development shall be carried out in accordance with the approved Method Statement & Logistics Plan, or any amendment or variation to it as may be agreed in writing by the local planning authority.

REASON: To minimise the impacts of construction upon the amenities of neighbouring occupiers, in accordance with Policy DM1 of the Local Plan, and to ensure that development does not adversely affect safety on the transport network in accordance with Policy 6.3 of the London Plan and Policy DM43 of the Local Plan. Details are required PRIOR TO COMMENCEMENT OF DEVELOPMENT to ensure a satisfactory form of development.

4. Levels

No site works or development shall commence until details of the levels of the building(s), road(s) and footpath(s) in relation to the adjoining land and highway(s), and any other changes proposed in the level of the site, have been submitted to, and agreed in writing by the local planning authority. The development shall be carried out in accordance with the details so agreed.

REASON: To ensure that the works are carried out at suitable levels in relation to the highway and adjoining properties in the interests of the amenity of neighbouring residents, the appearance of the development, drainage, gradient of access and future highway improvement in accordance with Policies DM1 and DM42 of the Harrow Development Management Policies Local Plan (2013). Details are required PRIOR TO THE COMMENCEMENT OF DEVELOPMENT to ensure a satisfactory form of development and avoid potentially unenforceable conditions.

5. Car Parking

Notwithstanding the approved details, the development hereby permitted shall not progress beyond damp proof course level until details of a scheme to provide three car parking spaces (2.4m x 4.8m) have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied or used until the spaces have been completed in accordance with the approved details and shall be thereafter retained.

REASON: To ensure suitable parking provision for people with disabilities in accordance with the policies of the Harrow Unitary Development Plan.

6. Cycle Store

The development hereby permitted shall not be occupied until details relating to the provision of cycle storage has been submitted and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details prior to occupation and shall thereafter be retained.

REASON: To ensure that the development achieves a high standard of amenity for future occupiers of this and the neighbouring buildings, in accordance with policies 6.9 and 7.6 of the London Plan (2016) and Policies DM1 and DM42 of the Development Management Policies Local Plan (2013).

7. Materials

Notwithstanding the submitted details and approved plans, the development hereby permitted shall not progress beyond damp proof course level until samples of the materials to be used in the construction of the external surfaces noted below have been provided to view on site, and approved in writing by, the local planning authority:

- a) The buildings;
- b) Hardsurfacing;
- c) Cycle Store

The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: To safeguard the appearance of the locality. To ensure that the materials are

agreed in time to be incorporated into the development, in accordance with policies 7.4.B of The London Plan (2016) and Policies DM1 and DM26 of The Development Management Policies Local Plan (2013).

8. Refuse Storage

Notwithstanding the details shown on approved drawings, the dwellings hereby approved shall not be occupied until details of refuse storage to accommodate sufficient waste and recycling containers for the proposed dwellings have been submitted to and agreed in writing by the local planning authority. The dwellings shall not be occupied until the bin stores have been provided in accordance with the details so agreed. Other than on collection days, all waste and recycling containers associated with the occupation of the approved development shall be housed within the agreed bin store. The development shall be implemented in accordance with the approved details and thereafter be retained.

REASON: To enhance the appearance of the development and safeguard the character and appearance of the area, in accordance with policies 7.4.B of The London Plan (2016) and Policies DM1 and DM26 of The Development Management Policies Local Plan (2013).

9. Green Roof

Notwithstanding the submitted details and approved plans, the development hereby permitted shall not be implemented, until details of a green roof for the refuse and cycle stores, including a maintenance plan, have been submitted to, and approved in writing by, the local planning authority:

The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: In the interests of biodiversity and sustainability, in accordance with policies DM12 and DM21 of the Development Management Policies Local Plan 2013.

Details are required prior to commencement of development to ensure a satisfactory form of development.

10. Landscaping

The development hereby permitted shall not progress beyond damp proof course level until there has been submitted to, and approved by, the local planning authority, a scheme of hard and soft landscape works which shall include a survey of all existing trees and hedgerows on the land, indicating those to be retained and those to be lost. Details of those to be retained, together with measures for their protection in the course of the development, shall also be submitted and approved, and carried out in accordance with such approval, prior to any demolition or any other site works, and retained until the development is completed. Soft landscape works shall include: planting plans, and schedules of plants, noting species, plant sizes and proposed numbers / densities.

REASON: To safeguard the appearance and character of the area, and to enhance the appearance of the development.

11. Landscaping – Implementation

All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the building(s), or the completion of the development, whichever is the sooner. Any existing or new trees or shrubs which, within a period of 5 years from the completion of the development, die, are removed, or become seriously damaged or diseased, shall be replaced in the next planting season, with others of a similar size and species, unless the local authority agrees any variation in writing.

REASON: To safeguard the appearance and character of the area, and to enhance the appearance of the development.

12. Foul Water Disposal

The development hereby permitted shall not be occupied until works for the disposal of sewage have been provided on site in accordance with details to be submitted to, and approved in writing by, the local planning authority. The works shall thereafter be retained.

REASON: To ensure that adequate drainage facilities are provided.

13. Surface Water Disposal

The development of any buildings hereby permitted shall not be commenced until works for the disposal of surface water have been provided on site in accordance with details to be submitted to, and approved in writing by, the local planning authority. The works shall thereafter be retained.

REASON: To ensure that adequate drainage facilities are provided.

14. Surface Water Attenuation

The development of any buildings hereby permitted shall not be commenced until surface water attenuation / storage works have been provided in accordance with details to be submitted to, and approved in writing by, the local planning authority. The works shall thereafter be retained.

REASON: To prevent the increased risk of flooding.

15. Restriction of Permitted Development Rights

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order with or without modification), no development which would otherwise fall within Classes A, B, C, D and E in Part 1 of Schedule 2 to that Order shall be carried out to either dwellinghouse hereby permitted, without the prior written permission of the local planning authority.

REASON: To safeguard the character of the area by restricting the amount of site coverage and size of dwelling in relation to the size of the plot and to safeguard the amenity of neighbouring residents.

16. Biodiversity – Demolition

The development hereby permitted shall not commence unless and until a method statement has been submitted to and approved by the Local Planning Authority, detailing the following:

- a) How noise impacts are to be mitigated;
- b) The potential for particulate and other pollution (airborne or via site run-off) is to be avoided, with particular regard to the SINC and the water course which runs through it.
- c) A temporary reptile barrier which is to be erected within the rear garden to prevent injury to protected species, particularly slow worms. Any reptiles or amphibians found within the garden to be placed on the NW side of this barrier.

REASON: To ensure adequate protection and enhancement of biodiversity and access to nature.

17. Biodiversity – Wildlife Shelters/Garden Connectivity

Prior to the completion of the development hereby permitted, the following details shall be submitted to and approved by the Local Planning Authority:

- a) At the southern aspect of each house, at just under eaves level, a Schwhegler 1FR bat tube is to be permanently installed;
- b) on the northern aspect of each house, at just under eaves level, a Schwhegler 1SP Sparrow Terrace to be permanently installed.
- c) A hedgehog access hole from the rear garden of each dwellinghouse into the Yeading Brook SINC.

The development shall be completed in accordance with the approved details and shall be thereafter retained.

REASON: To ensure adequate protection and enhancement of biodiversity and access to nature.

18. Biodiversity – External Lighting

Notwithstanding the approved plans, no external lighting shall be installed without the prior written permission of the Local Planning Authority.

REASON: To ensure adequate protection and enhancement of biodiversity and access to nature.

19. Part M

The development hereby permitted shall be constructed to the specifications of: “Part M, M4 (2), Category 2: Accessible and Adaptable Dwellings” of the Building Regulations 2013 and thereafter retained in that form.

REASON: To ensure that the development is capable of meeting ‘Accessible and Adaptable Dwellings’ standards in accordance with policies 3.5 and 3.8 of The London Plan (2016), policy CS1.K of The Harrow Core Strategy (2012) and policies DM1 and DM2 of the Development Management Policies Local Plan (2013).

Informatives

1 **Policies**

National Planning Policy Framework (2018) (NPPF)

The London Plan (2016)

3.5, 3.8, 5.2, 5.3, 5.12, 5.13, 6.3, 6.9, 6.13, 7.1, 7.3, 7.4, 7.6, 7.19, 7.21

Draft London Plan (2017)

H12, D1, D2, D10, G5, G6, G7, SI12, SI13, T5, T6.1

Harrow Core Strategy (2012)

CS1, CS2

Harrow Development Management Policies Local Plan (2013)

DM1, DM2, DM9, DM10, DM12, DM20, DM21, DM22; DM23; DM24; DM27
DM42; DM45

Relevant Supplementary Documents

Supplementary Planning Document Residential Design Guide 2010

London Plan Housing Supplementary Planning Guidance (2016)

Technical Housing Standards – Nationally described Space standards (2015)

2 **Compliance with planning conditions**

Compliance With Planning Conditions Requiring Submission and Approval of Details Before Development Commences

- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority.
- Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.
- Beginning development in breach of a planning condition will invalidate your planning permission.
- If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness.

3 **Pre-application engagement**

Statement under Article 35(2) of The Town and Country Planning (Development Management Procedures) (England) Order 2015

This decision has been taken in accordance with paragraphs 187-189 of The National Planning Policy Framework. Harrow Council has a pre-application advice service and actively encourages applicants to use this service. Please note this for future reference prior to submitting any future planning applications.

4 **INFORM 61**

Please be advised that approval of this application (either by Harrow Council, or subsequently by the Planning Inspectorate if allowed on appeal following a refusal by Harrow Council) will attract a Community Infrastructure Levy (CIL) liability, which is

payable upon the commencement of development. This charge is levied under s.206 of the Planning Act 2008 Harrow Council, as CIL collecting authority, has responsibility for the collection of the Mayoral CIL

The CIL liability for the application, based on the Mayoral CIL levy rate for Harrow of £35/sqm £35,175

This amount however does not include indexation, which will be included when a formal Liability Notice is issued. The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing).

You are advised to visit the planning portal website where you can download the appropriate document templates.

Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0 .

https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf

https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges and penalties

5 INFORM 62

Harrow has a Community Infrastructure Levy which applies Borough wide for certain developments of over 100sqm gross internal floor space.

Harrow's Charges are:

Residential (Use Class C3) - £110 per sqm;

Hotels (Use Class C1), Residential Institutions except Hospitals, (Use Class C2), Student Accommodation, Hostels and HMOs (Sui generis) - £55 per sqm;

Retail (Use Class A1), Financial & Professional Services (Use Class A2), Restaurants and Cafes (Use Class A3) Drinking Establishments (Use Class A4) Hot Food Takeaways (Use Class A5) - £100 per sqm

All other uses - Nil.

The Harrow CIL Liability for this development is: £110,550. This figure excludes indexation, which will be included when a formal Liability Notice is issued. The CIL Liability is payable upon the commencement of development.

You are advised to visit the planningportal website where you can download the relevant CIL Forms.

6 Party Wall Act

The Party Wall etc. Act 1996 requires a building owner to notify and obtain formal agreement from adjoining owner(s) where the building owner intends to carry out building work which involves:

1. work on an existing wall shared with another property;
2. building on the boundary with a neighbouring property;

3. excavating near a neighbouring building, and that work falls within the scope of the Act.

Procedures under this Act are quite separate from the need for planning permission or building regulations approval.

"The Party Wall etc. Act 1996: explanatory booklet" is available free of charge from: Communities and Local Government Publications, PO Box 236, Wetherby, LS23 7NB. Please quote Product code: 02 BR 00862 when ordering.

Also available for download from the Portal website:

<https://www.gov.uk/party-wall-etc-act-1996-guidance>

7 Protection of Highway

The applicant is advised to ensure that the highway is not interfered with or obstructed at any time during the execution of any works on land adjacent to a highway. The applicant is liable for any damage caused to any footway, footpath, grass verge, vehicle crossing, carriageway or highway asset. Please report any damage to nrswa@harrow.gov.uk or telephone 020 8424 1884 where assistance with the repair of the damage is available, at the applicants expense. Failure to report any damage could result in a charge being levied against the property.

8 Considerate Contractor Code of Practice

The applicant's attention is drawn to the requirements in the Considerate Contractor Code of Practice. In the interests of minimising any adverse effects arising from building operations, the limitations on hours of working are as follows:

0800-1800 hours Monday - Friday (not including Bank Holidays)

0800-1300 hours Saturday.

9 Sustainable Urban Drainage System (SUDS)

The applicant is advised that surface water run-off should be controlled as near to its source as possible through a sustainable drainage approach to surface water management (SUDS). SUDS are an approach to managing surface water run-off which seeks to mimic natural drainage systems and retain water on or near the site as opposed to traditional drainage approaches which involve piping water off site as quickly as possible.

SUDS involve a range of techniques including soakaways, infiltration trenches, permeable pavements, grassed swales, ponds and wetlands. SUDS offer significant advantages over conventional piped drainage systems in reducing flood risk by attenuating the rate and quantity of surface water run-off from a site, promoting groundwater recharge, and improving water quality and amenity.

Where the intention is to use soak ways they should be shown to work through an appropriate assessment carried out under Building Research Establishment (BRE) Digest 365.

Support for the SUDS approach to managing surface water run-off is set out in the National Planning Policy Framework (NPPF) and its accompanying technical guidance, as well as the London Plan. Specifically, the NPPF (2018) gives priority to the use of sustainable drainage systems in the management of residual flood risk and the technical guidance confirms that the use of such systems is a policy aim in all flood zones. Policy 5.13 of the London Plan (2016) requires development to utilise sustainable drainage systems unless there are practical reasons for not doing so. Sustainable drainage systems cover the whole range of sustainable approaches to surface drainage management. They are designed to control surface water run-off close to where it falls and mimic natural drainage as closely as possible. Therefore, almost any development should be able to include a sustainable drainage scheme based on these principles.

The applicant can contact Harrow Drainage Section for further information.

10 Biodiversity

For the lifetime of the property, any external and internal lighting must be of a design and placement to avoid disturbance to bat roosting, foraging or commuting behaviour. Given the proximity of the rear of the two houses to the SINC this will be critical.

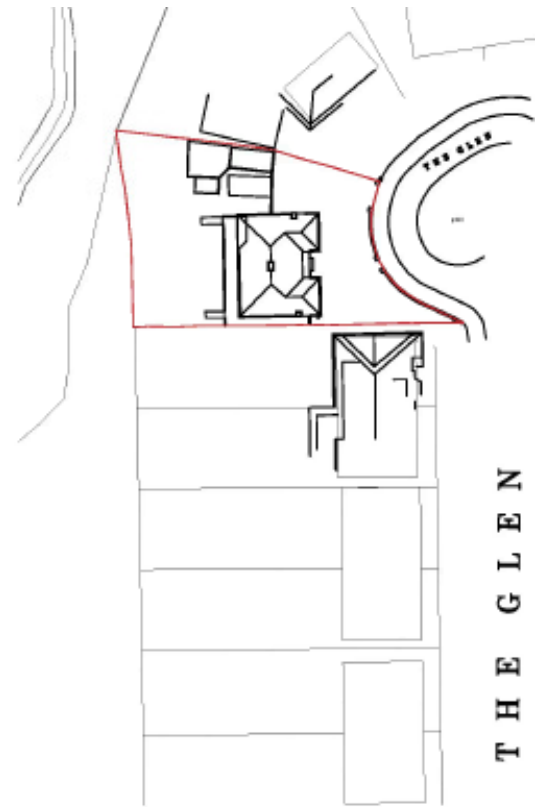
11 Biodiversity

Care to be taken whilst stripping the roof of tiles and if any roosting bats are found all works to cease until the advice of a suitably experienced ecologist has been obtained in order to avoid any criminal offence.

Report Checked:

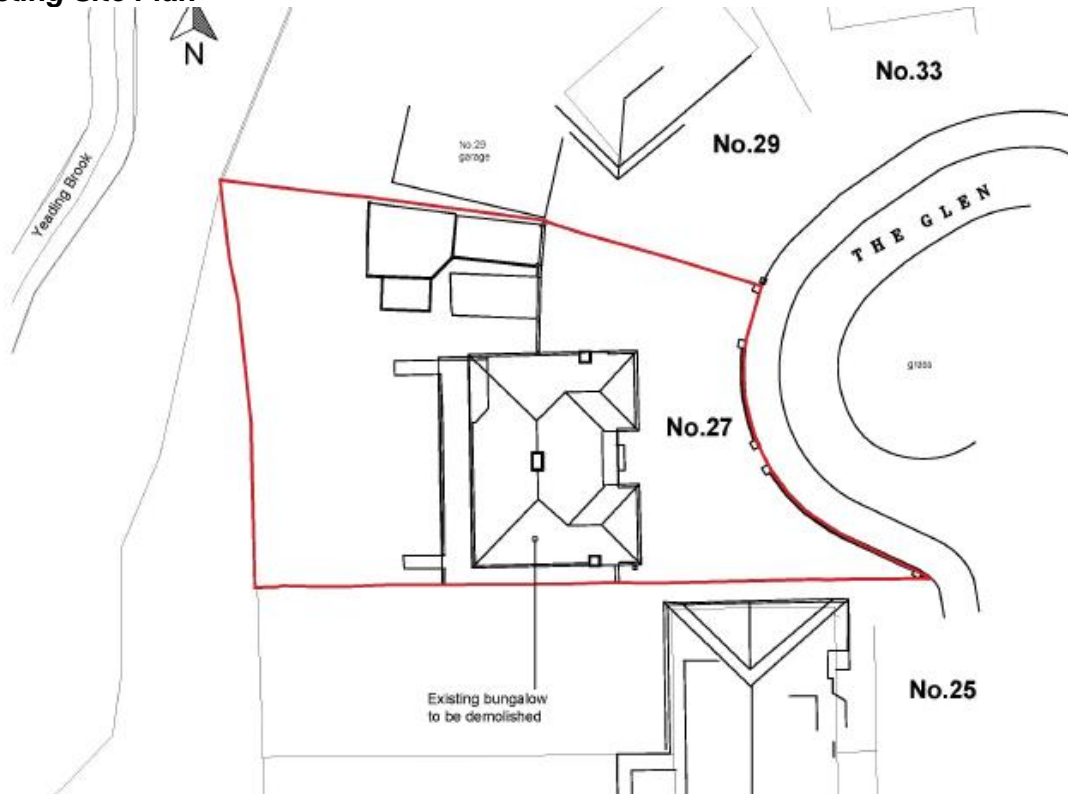
| | | |
|--------------------------------|-----------------|-----|
| Interim Chief Planning Officer | Beverley Kuchar | Yes |
| Corporate Director | Paul Walker | Yes |

APPENDIX 2: LOCATION AND SITE PLANS

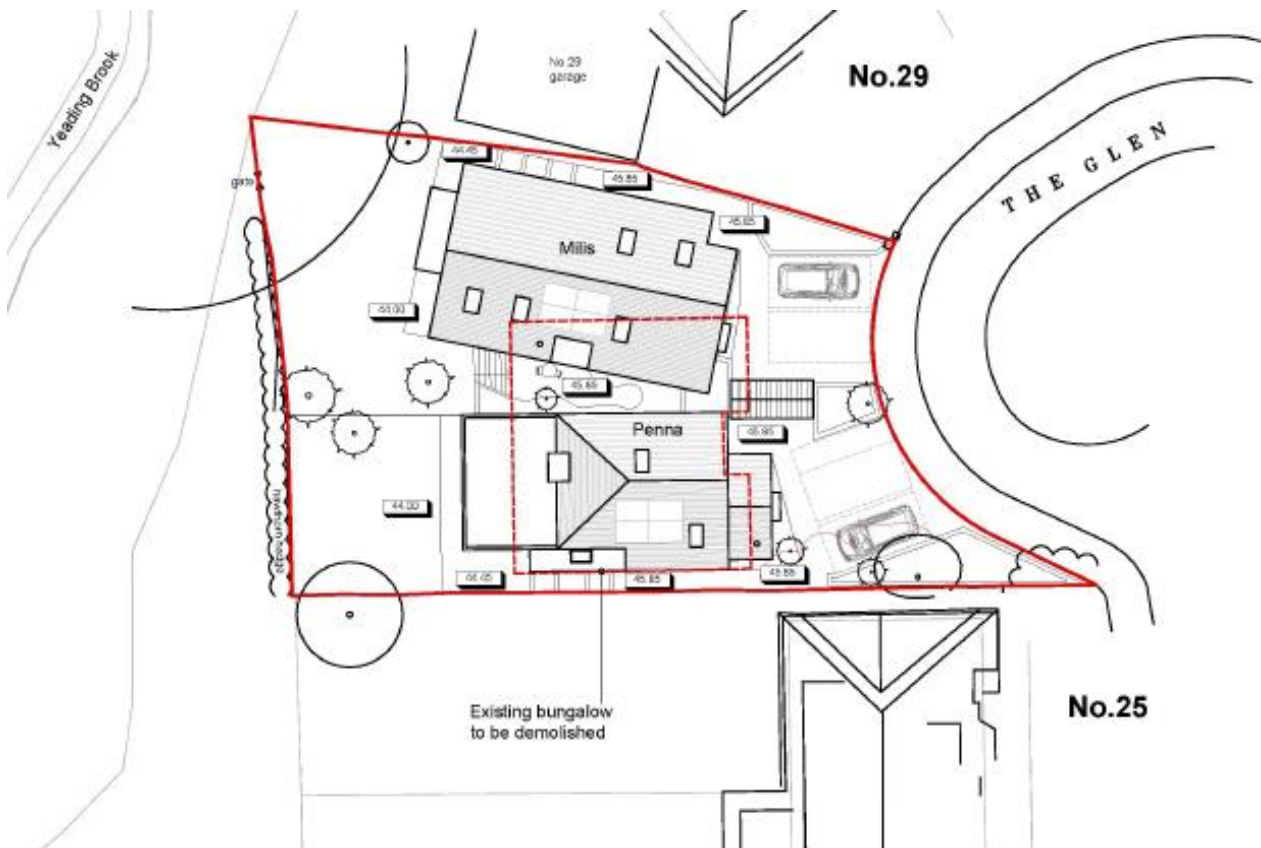


Existing Block Plan
1:500

Existing Site Plan



Proposed Site Plan



APPENDIX 3: PHOTOGRAPHS



Host dwelling



Existing garage at host dwelling



Existing garage at host dwelling, flank wall of No.29 The Glen



No.25 The Glen (right)



Flank wall of No.25 The Glen



Rear elevation of No.29 The Glen



Rear elevation of host dwelling



No.29 The Glen



No.25 The Glen, to the left

APPENDIX 4: PLANS AND ELEVATIONS

Existing Elevations



West Elevation
40.00m datum



East Elevation
40.00m datum



South Elevation
40.00m datum

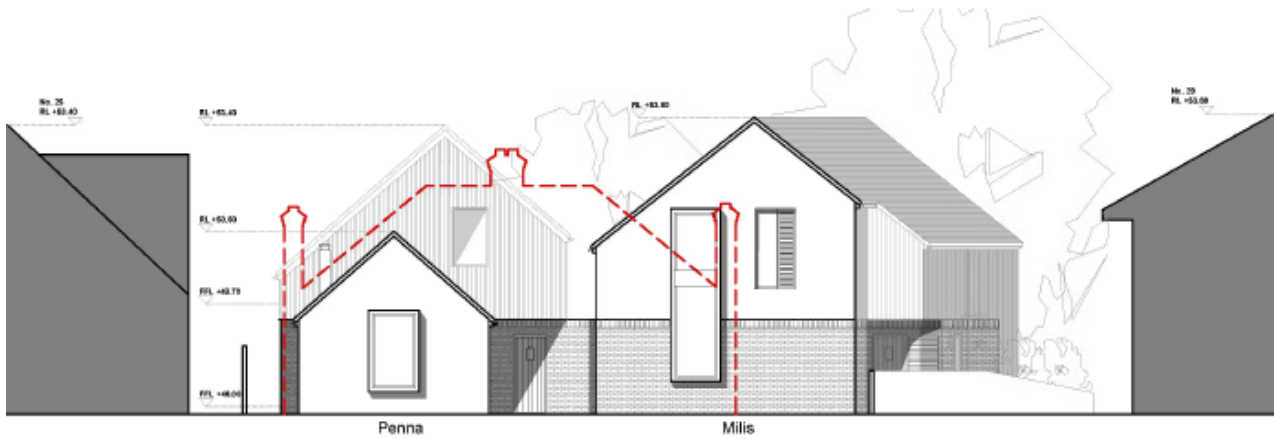


North Elevation
40.00m datum

Render – Front Elevation

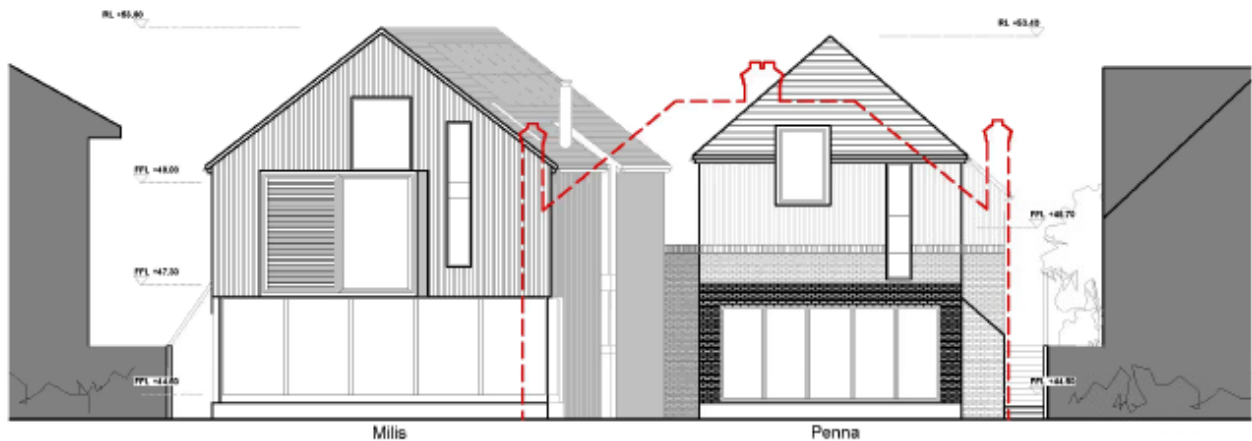


Proposed Front Elevations



Proposed East Elevation
1:100

Proposed Rear Elevations

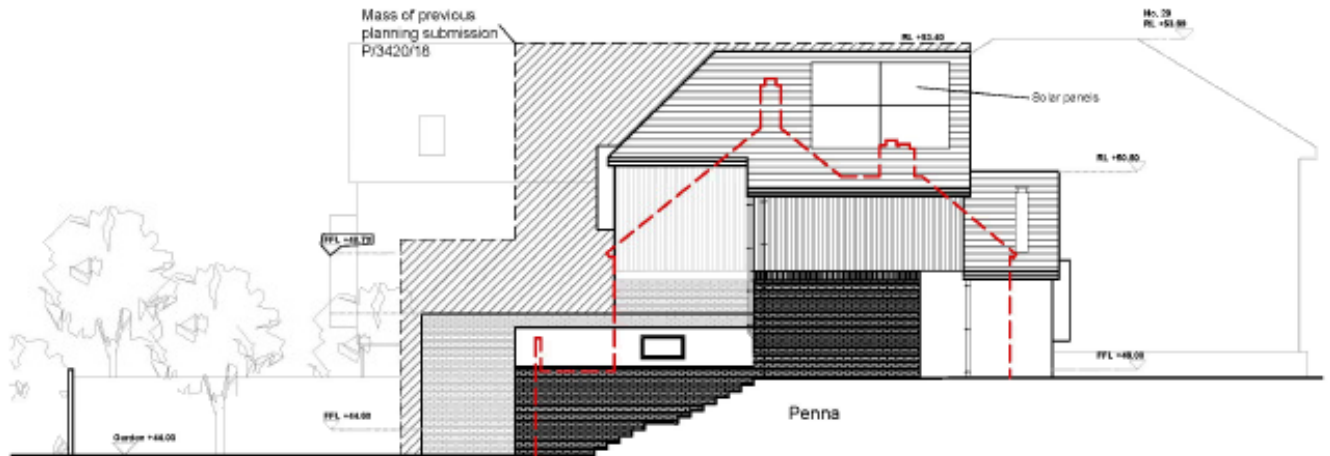


Proposed West Elevation
1:100

Proposed Side Elevations



Proposed North Elevation
1:100

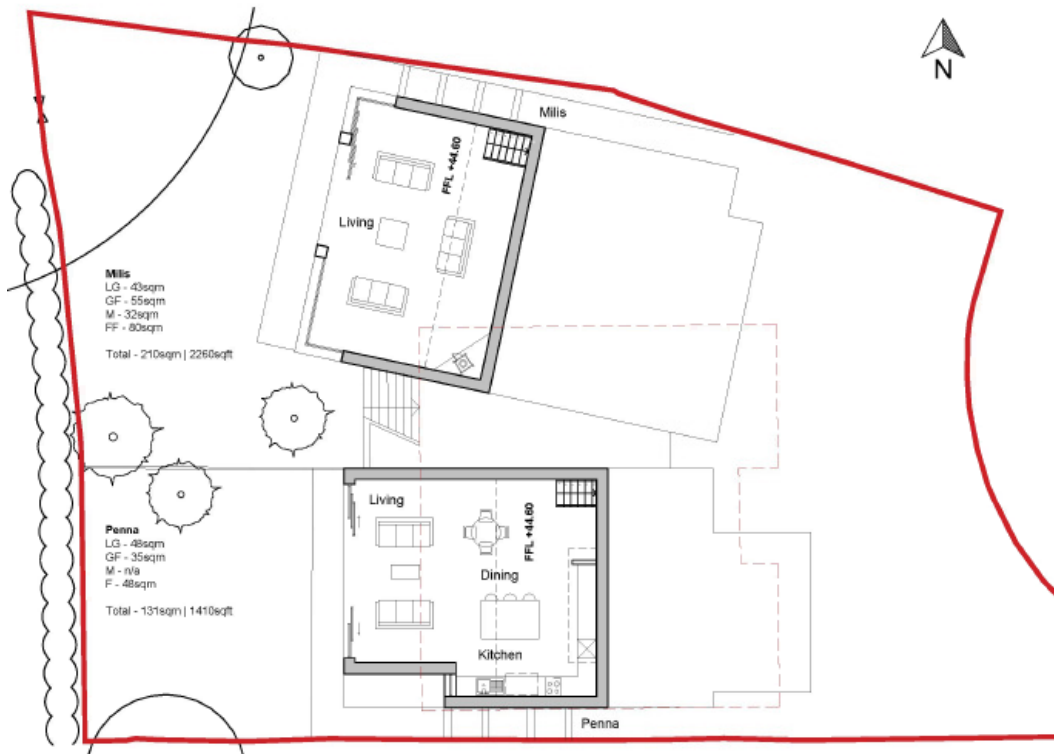


Proposed South Elevation
1:100

Proposed Lower Ground Floor Plans

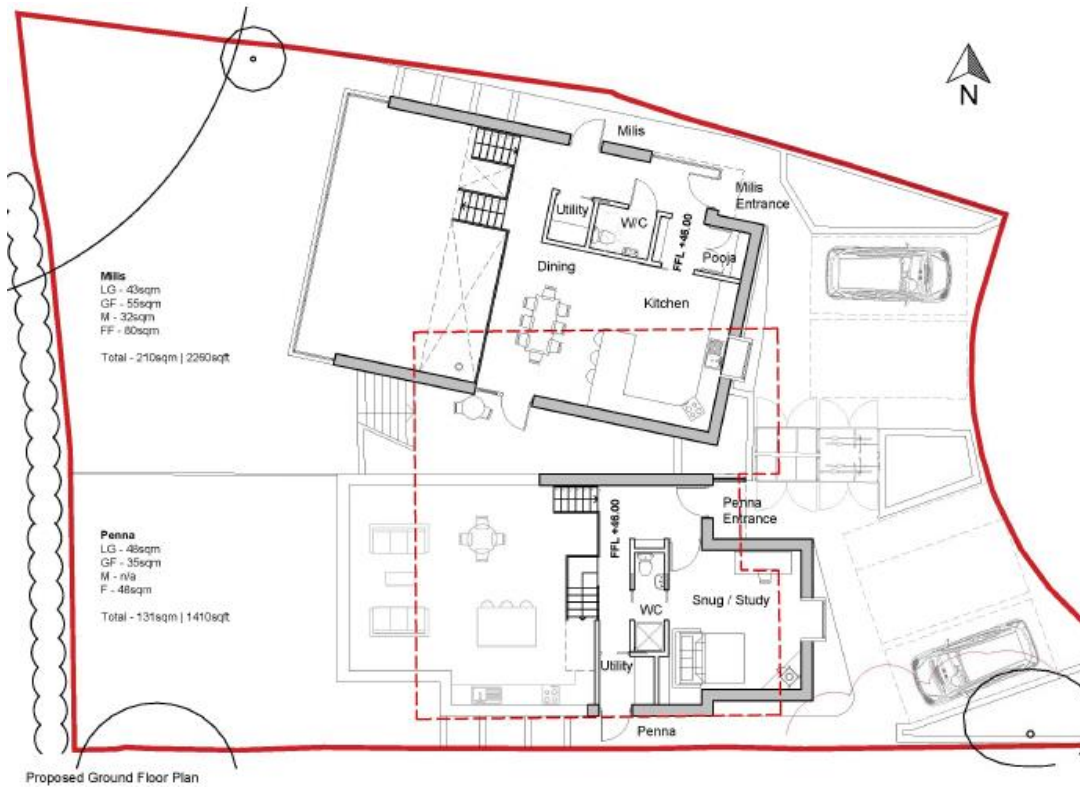


Proposed First Floor Plan
 1:100



Proposed Lower Ground Floor Plan
 1:100

Proposed Ground Floor Plans



Proposed First Floor Plans

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